

Madison, Wisconsin

# CITY OF MADISON

## CITY ENGINEERING DIVISION

### DEPARTMENT OF PUBLIC WORKS

# PLAN OF PROPOSED IMPROVEMENT

## 252 DUNNING ST

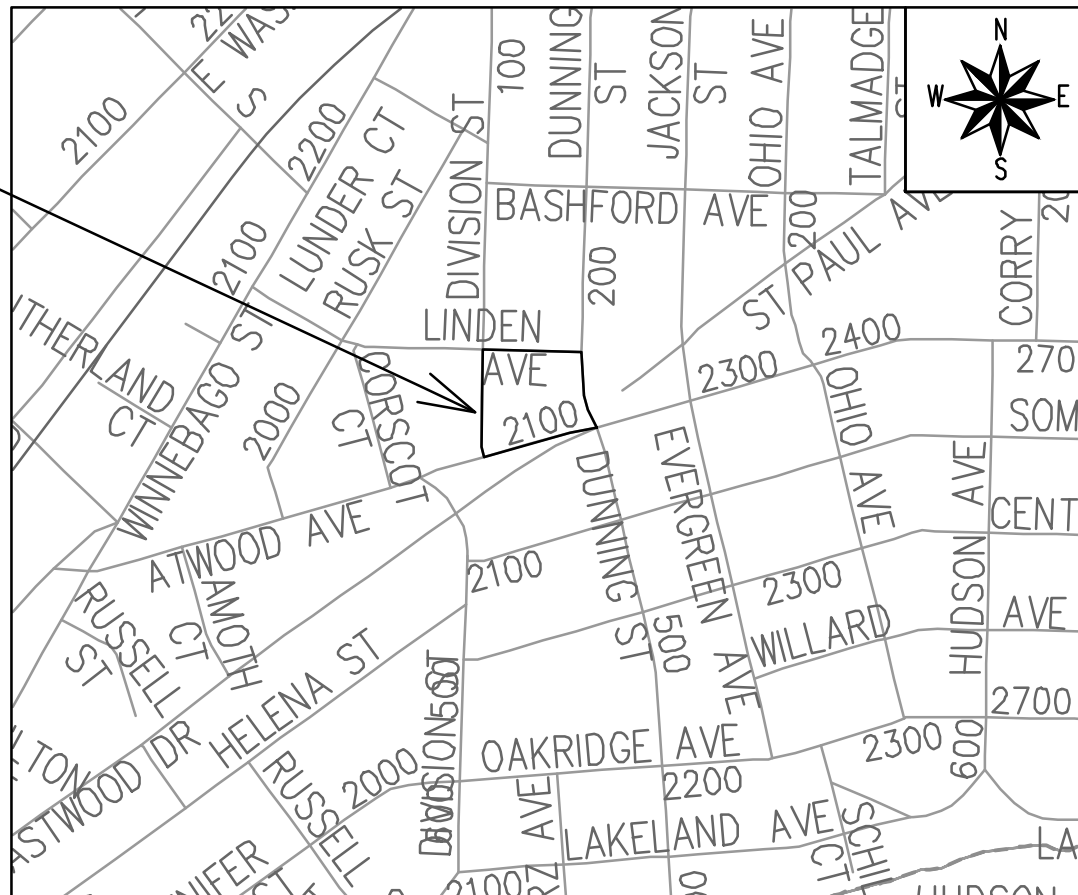
#### INDEX OF SHEETS

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NO MAINTENANCE PLAN REQUIRED

CITY PROJECT NO. 14524  
CONTRACT NO. 9278

PROJECT  
LOCATION



REVISION 1 - 09/09/24  
- UPDATED SHEETS: U1, U3-U4

PUBLIC IMPROVEMENT PROJECT  
APPROVED

MAY 2, 2023

BY THE COMMON COUNCIL  
OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN  
APPROVED BY:

Jul 30, 2024

City Engineer

Date

STREET  
DESIGNED BY:

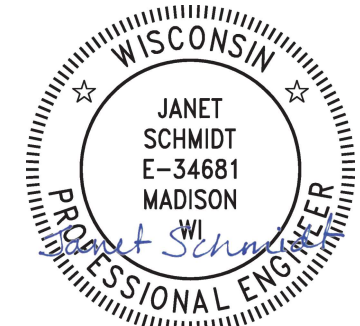


Jul 30, 2024

WATER  
DESIGNED BY:

LATERAL ONLY

STORM SEWER  
DESIGNED BY:

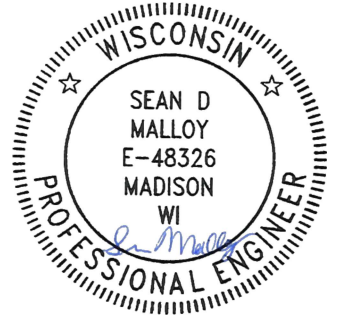


Jul 30, 2024

SANITARY SEWER  
DESIGNED BY:

LATERAL ONLY

PAVEMENT MARKINGS  
DESIGNED BY:



Jul 30, 2024

PLOT SCALE: 1 IN = 1 FT XREF

REV. DATE: 7/27/2024 8:00 AM

PLT NAME: CITY\_OF\_MADISON

DATE: 7/24/2024 8:04 AM

THE LOCATION AND INFORMATION FOR PROPOSED NEW TREES, IN THE PUBLIC RIGHT OF WAY OR ON PUBLIC LANDS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY. THE LOCATIONS, SPECIFICATIONS AND PLANTING METHODS OF ALL PROPOSED NEW OR REPLACEMENT TREES IN THE PUBLIC RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO INSTALLATION.

NO TREES IN THE RIGHT OF WAY OR ON PUBLIC LANDS SHALL BE TRIMMED, PRUNED, REMOVED OR ADVERSELY AFFECTED IN ANY WAY UNTIL THE DEVELOPER HAS RECEIVED WRITTEN PERMISSION FROM THE CITY ENGINEER OR CITY FORESTER. SAID WRITTEN PERMISSION SHALL INCLUDE LANGUAGE INDICATING THAT SECTION 10.101 OF THE MADISON GENERAL ORDINANCES AND ADMINISTRATIVE PROCEDURE MEMORANDUM NO. 6-2, REFERRING TO NOTIFICATION OF PROPERTY OCCUPANTS AND/OR OWNERS, HAS BEEN COMPLIED WITH.

DEVELOPER MUST SUBMIT A TRAFFIC CONTROL PLAN TO CITY TRAFFIC ENGINEERING AT LEAST 14 DAYS PRIOR TO THE START OF WORK. WORK SHALL NOT PROCEED UNTIL AN APPROVED TRAFFIC CONTROL PLAN IS IN PLACE.

CONTACT THE PROJECT ENGINEER AND DESIGNER, GRECIA IZQUIERDO, AT GIZQUIERDO@CITYOFMADISON.COM FOR CAD FILES AND ALIGNMENT DATA PRIOR TO STAKING.

UNDERDRAINS SHALL BE INSTALLED PER STANDARD DETAIL DRAWING 4.05 FOR 75' ON EACH SIDE OF THE LOW POINT, OR TO THE NEAREST CURB HIGH POINT. ALL UNDERDRAIN SHALL BE WRAPPED.

ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADE OF 0.5% TOWARD STORM SEWER INLETS.

ALL DITCHES SHALL DRAIN WITH A MINIMUM GRADE OF 0.5%

THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL TYPICALLY BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.04. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER INLETS. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.

OBTAIN A PRINT OUT OF THE ALIGNMENTS FROM THE CITY PROJECT ENGINEER PRIOR TO STAKING THIS PROJECT. THE CITY PROJECT ENGINEER IS GRECIA IZQUIERDO, EMAIL: GIZQUIERDO@CITYOFMADISON.COM

CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.

POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK UNLESS OTHERWISE INDICATED ON THE PLANS.

ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.

THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.

ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.

THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.

PAVEMENT SAWCUTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS SHOWN ON THE PLAN ARE APPROXIMATE.

CURB ON CUL DE SACS SHALL BE INSTALLED ACCORDING TO S.D.D 3.05.

ALL WORK IN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST EDITION.




ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY ARE BASED ON SURVEY DATA PROVIDED BY THE DEVELOPER OR ITS CONSULTANT. IN THE CASE THAT THE PROPOSED IMPROVEMENTS CAN NOT BE INSTALLED PER THESE PLANS OR THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF EXTRA WORK DUE TO INACCURACIES OF THE SURVEY.


ALL UTILITY VERIFICATIONS AND ACCURACY OF THE DRAWINGS ARE THE RESPONSIBILITY OF THE DEVELOPER. ANY CONFLICTS THAT ARISE FROM MISSING OR ERRONEOUS INFORMATION WILL BE AT THE EXPENSE OF THE DEVELOPER. NO PRECAST STRUCTURES WILL BE APPROVED FOR STORM OR SANITARY SEWER UNTIL ALL POTENTIAL UTILITY CONFLICTS ARE RESOLVED.

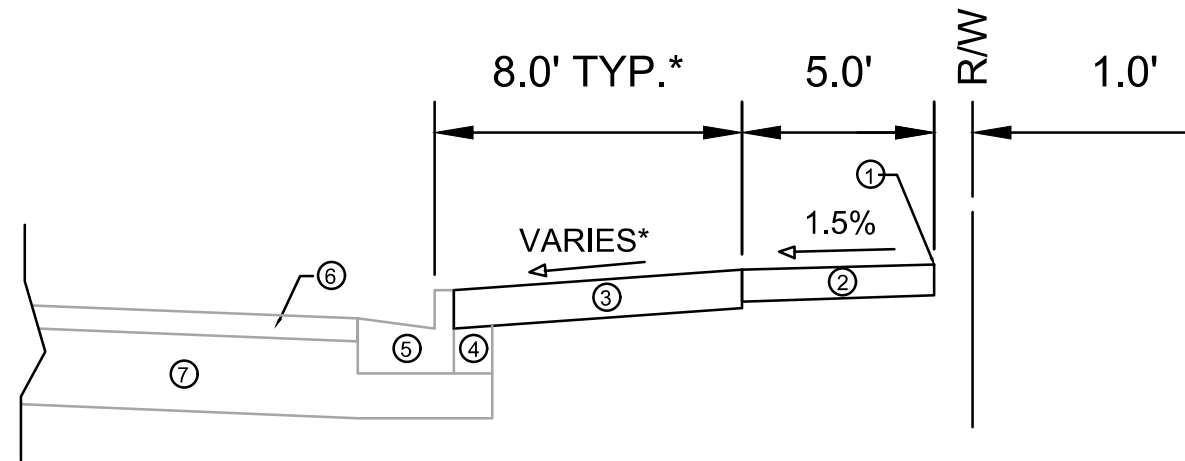
IN LOCATIONS WHERE PAVEMENT RESTORATION IS NOT IDENTIFIED ADJACENT TO CURB AND REPLACEMENT, IT IS ASSUMED THAT CURB AND GUTTER WILL BE REPLACED WITHOUT DAMAGING ADJACENT PAVEMENT. IF DAMAGED, THE MILL AND OVERLAY LIMITS SHALL BE EXTENDED BY THE CITY CONSTRUCTION ENGINEER AS NECESSARY TO MEET THE STANDARD PATCHING CRITERIA.

**CONVENTIONAL SIGNS**

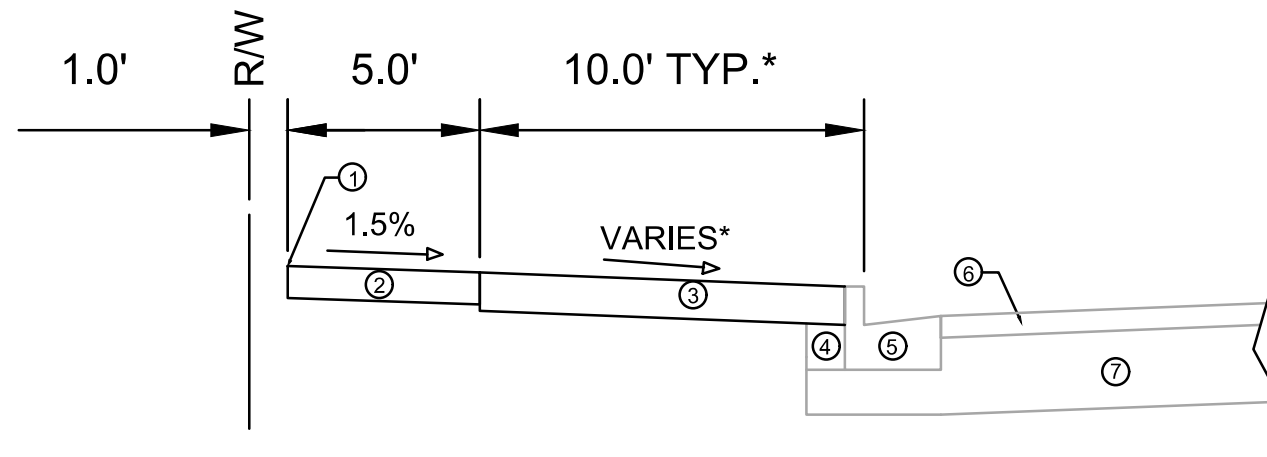
**FIELD VERIFY ALL UTILITY LOCATIONS**

<b>GAS</b>	—— G ——
<b>STORM SEWER</b>	—— ST ——
<b>SANITARY SEWER</b>	—— SAN ——
<b>WATER</b>	—— W ——
<b>BURIED ELECTRIC</b>	—— E ——
<b>OVERHEAD ELECTRIC</b>	—— OH ——
<b>POWER POLE</b>	
<b>ADA COMPLIANT RAMP W/ DETECTABLE WARNING FIELD</b>	
<b>COMBUSTIBLE FLUIDS</b>	

STANDARD NOTES	14524	MADISON, WI	9278	D-1
252 DUNNING STREET				
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14524				
D-1				



TYPICAL SECTION  
DIVISION ST.



TYPICAL SECTION  
DUNNING ST.

SPECIAL NOTES:

\* SEE P & X SHEETS FOR CROSS SLOPES AND WIDTHS

- ① POINT REFERRED TO ON PROFILE.
- ② 5" CONCRETE SIDEWALK, 7" AT DRIVEWAYS.
- ③ 6" TOPSOIL, SEED AND MAT.
- ④ EXISTING FILL TO REMAIN, INSTALL AT CURB REPLACEMENT LOCATIONS.
- ⑤ EXISTING CURB & GUTTER TYPE A, REPLACE AT LOCATIONS SHOWN IN P SHEETS OR AS DETERMINED BY THE CONSTRUCTION ENGINEER.
- ⑥ EXISTING ASPHALTIC PAVEMENT TO REMAIN.
- ⑦ EXISTING ROAD BASE TO REMAIN.

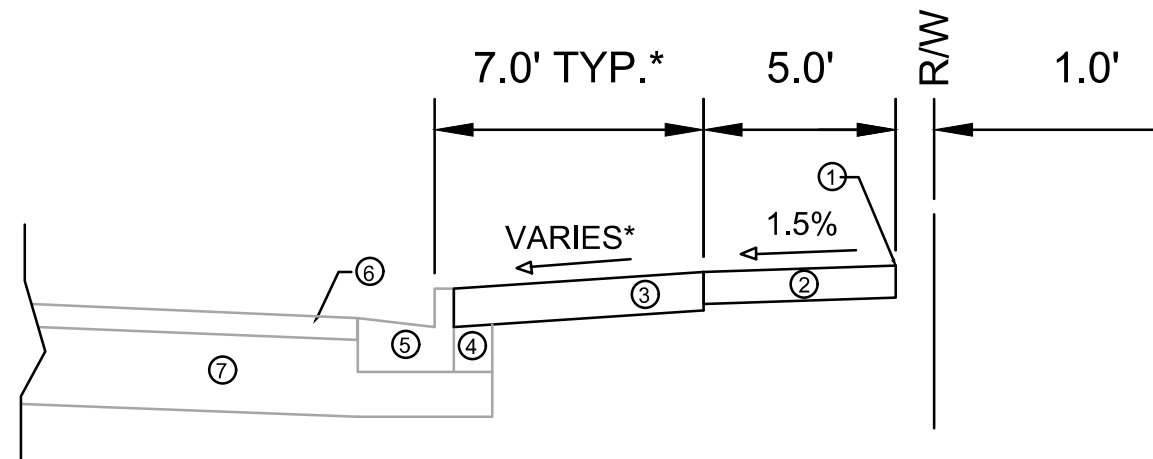
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14524  
MADISON, WI  
9278  
CONTRACT NO:

TYPICAL SECTIONS  
252 DUNNING STREET  
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14524  
D-2



TYPICAL SECTION  
LINDEN AVE.

SPECIAL NOTES:

\* SEE P & X SHEETS FOR CROSS SLOPES AND WIDTHS

- ① POINT REFERRED TO ON PROFILE.
- ② 5" CONCRETE SIDEWALK, 7" AT DRIVEWAYS.
- ③ 6" TOPSOIL, SEED AND MAT.
- ④ EXISTING FILL TO REMAIN, INSTALL AT CURB REPLACEMENT LOCATIONS.
- ⑤ EXISTING CURB & GUTTER TYPE A, REPLACE AT LOCATIONS SHOWN IN P SHEETS OR AS DETERMINED BY THE CONSTRUCTION ENGINEER.
- ⑥ EXISTING ASPHALTIC PAVEMENT TO REMAIN.
- ⑦ EXISTING ROAD BASE TO REMAIN.

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MADISON, WI	9278
CONTRACT NO:	
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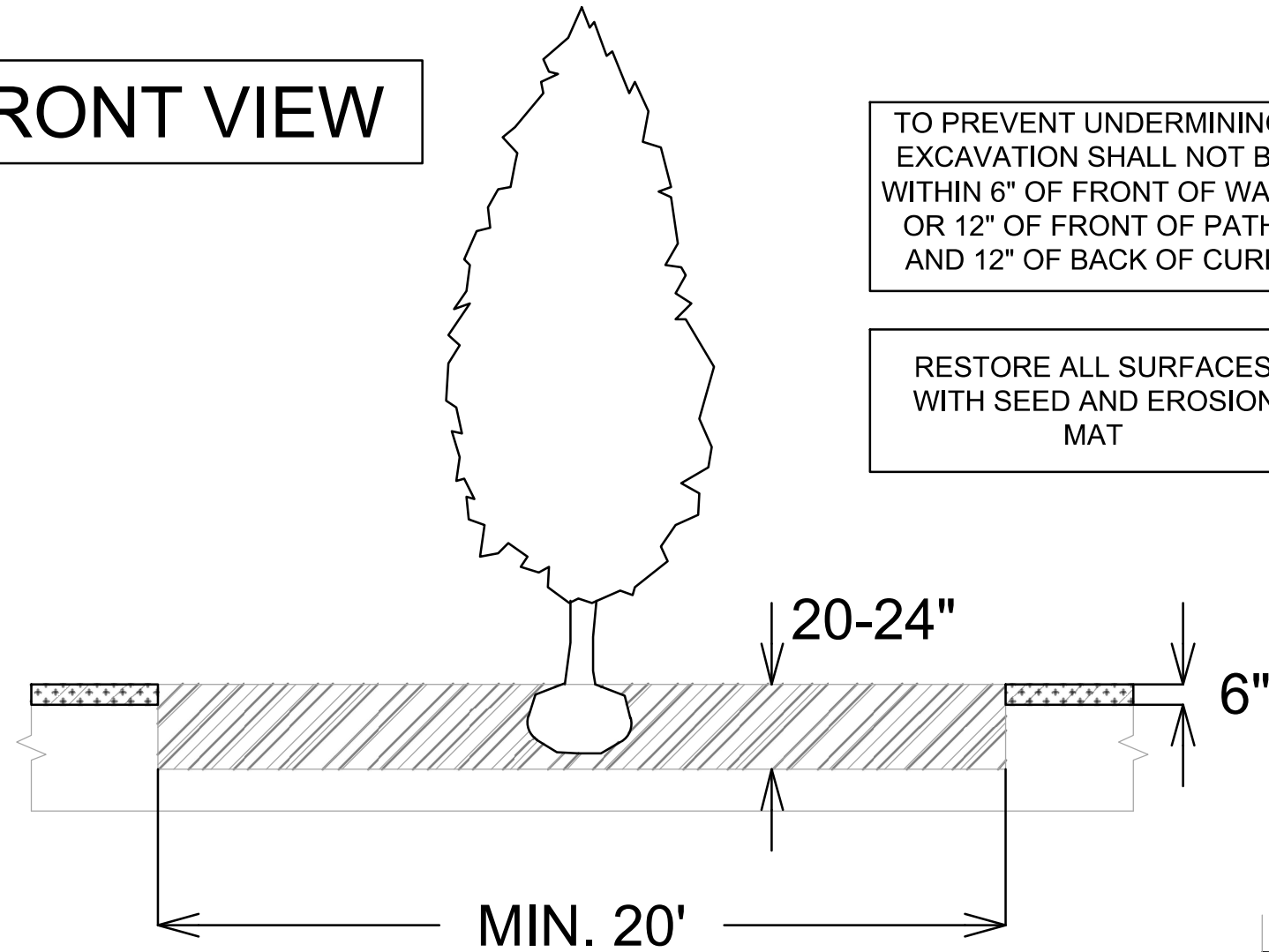


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D-3

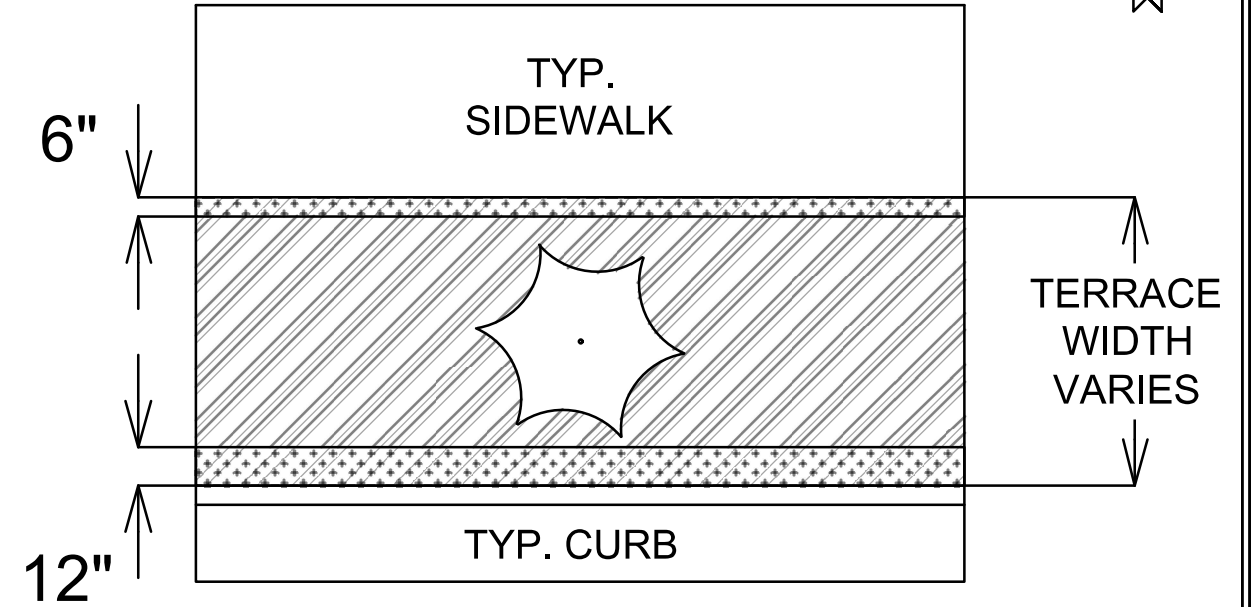
**TERRACE EXCAVATION FOR TREE PLANTING:**

THIS INCLUDES ALL WORK NECESSARY TO EXCAVATE AREAS WITHIN GRASS TERRACES TO AN APPROPRIATE DEPTH SUITABLE FOR NEW TREE PLANTINGS. ALL WORK SHALL BE IN ACCORDANCE WITH ARTICLE 201 OF THE STANDARD SPECIFICATIONS. THE PROPOSED LOCATIONS FOR TREE PLANTINGS ARE IDENTIFIED ON THE LANDSCAPING PLAN INCLUDED WITHIN THIS PLAN SET. PRIOR TO THE CONTRACTOR STARTING THE EXCAVATION WORK, THE ENGINEER AND FORESTRY REPRESENTATIVE SHALL REVIEW THE PLAN LOCATIONS ON-SITE AND CONFIRM THAT NO CONFLICTS ARE ANTICIPATED. ONCE THE LOCATIONS MARKED, THE CONTRACTOR SHALL EXCAVATE THE TERRACE AREA TO A SUITABLE DEPTH FOR NEW TREE PLANTINGS, APPROXIMATELY TWENTY (20) INCHES TO TWENTY-FOUR (24) INCHES. THE TERRACE SHALL BE EXCAVATED TO A MINIMUM LENGTH OF TWENTY (20) FEET, BUT THAT MAY BE REDUCED BY THE CONSTRUCTION ENGINEER TO FIT SITE CONSTRAINTS AS NECESSARY. THE WIDTH OF THE TERRACE SHALL ALSO BE EXCAVATED TO AS CLOSE TO THE SIDEWALK/PATH AND CURB AS IS REASONABLE. WHILE PERFORMING THE EXCAVATION, THE CONTRACTOR SHALL TAKE CARE TO NOT UNDERMINE OR DAMAGE THE ADJACENT CURB OR SIDEWALK. IF DAMAGED DURING THE EXCAVATION PROCESS, THE DEVELOPER SHALL REPLACE CURB OR SIDEWALK/PATH AT THEIR COST. ONCE THE AREA IS EXCAVATED, THE CONTRACTOR SHALL BACKFILL THE EXCAVATED AREA WITH REGULAR TOPSOIL, AND THE SURFACE SHALL BE RESTORED WITH SEED AND EROSION MAT.

**FRONT VIEW**



**TOP VIEW**

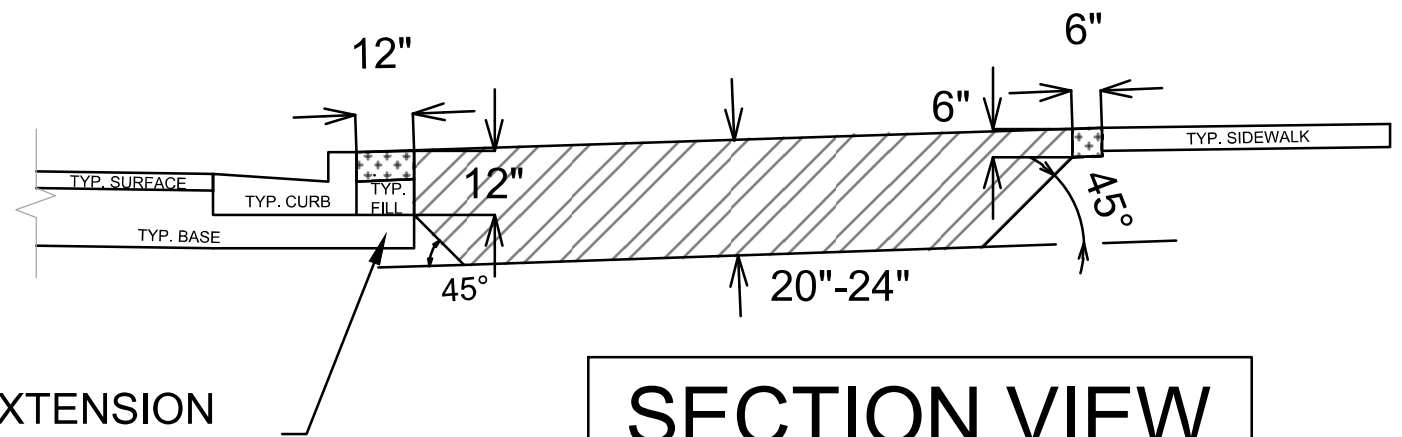


**LEGEND**

- AREA TO BE EXCAVATED 20-24" DEEP AND BACKFILLED WITH TOPSOIL
- AREA TO BE 6" TOPSOIL

12" BASE EXTENSION BEHIND CURB

**SECTION VIEW**



**SPECIAL NOTES:**

REFER TO S.D.D. 2.01 FOR STANDARD PLANTING TECHNIQUE FOR TREES IN TURF AREAS.

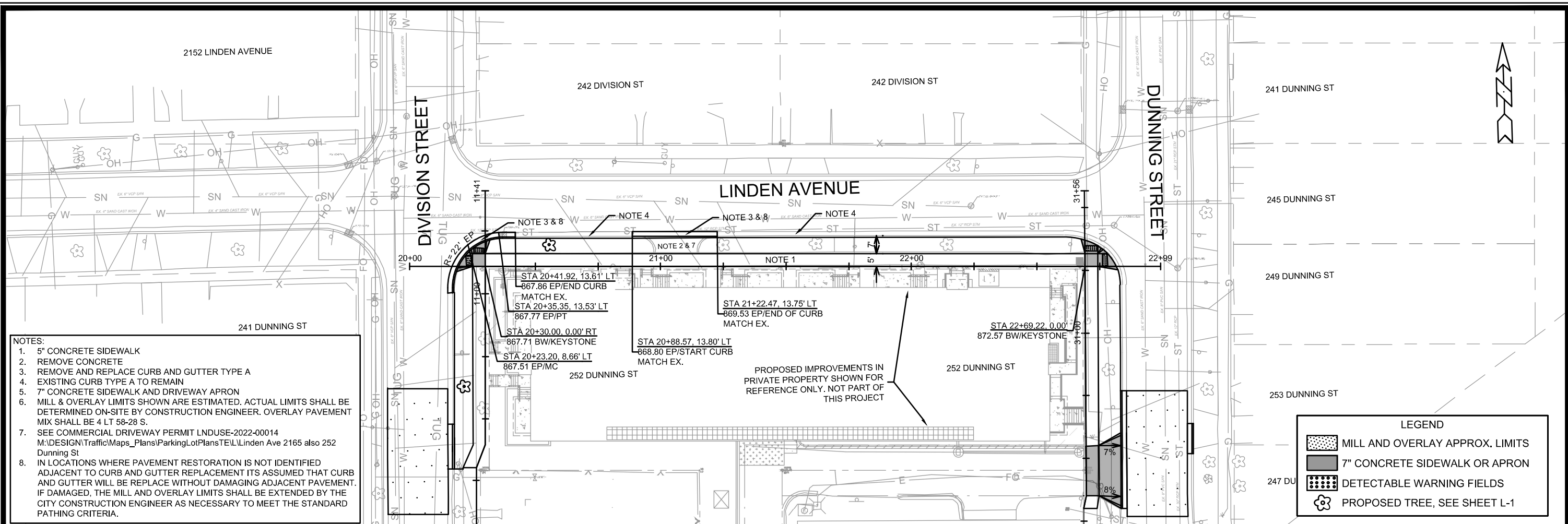
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14524  
MADISON, WI  
9278  
CONTRACT NO:

TREE EXCAVATION DETAIL  
252 DUNNING ST  
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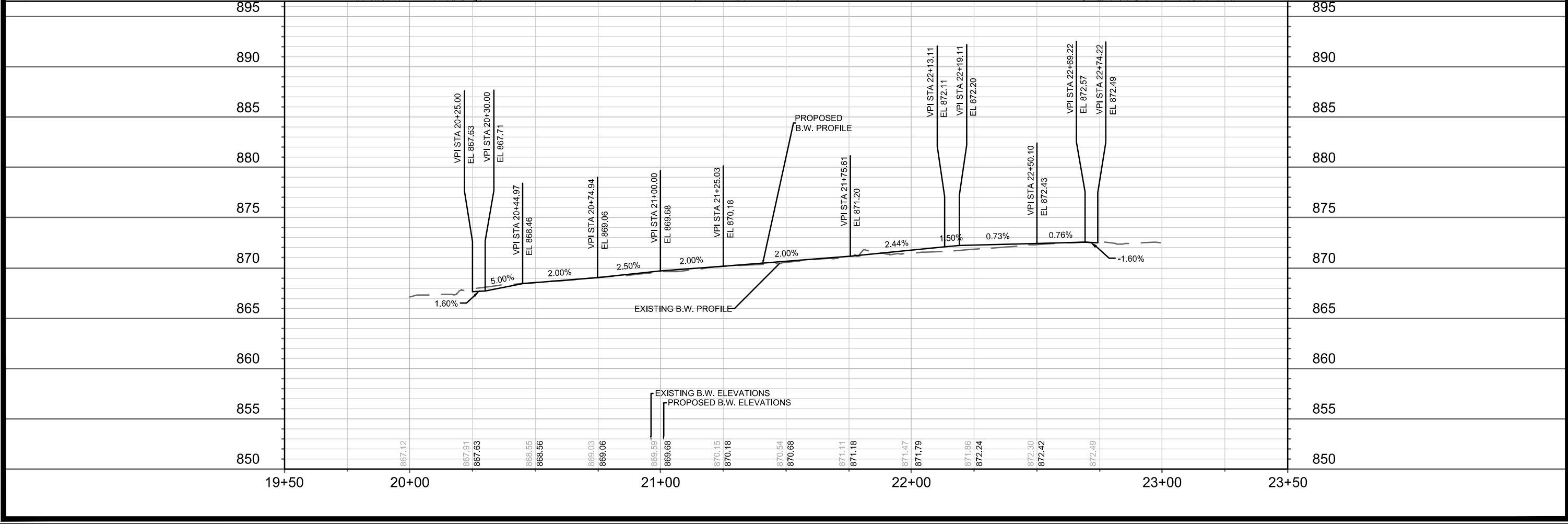
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D-4



- NOTES:**
- 5" CONCRETE SIDEWALK
  - REMOVE CONCRETE
  - REMOVE AND REPLACE CURB AND GUTTER TYPE A
  - EXISTING CURB TYPE A TO REMAIN
  - 7" CONCRETE SIDEWALK AND DRIVEWAY APRON
  - MILL & OVERLAY LIMITS SHOWN ARE ESTIMATED. ACTUAL LIMITS SHALL BE DETERMINED ON-SITE BY CONSTRUCTION ENGINEER. OVERLAY PAVEMENT MIX SHALL BE 4 LT 58-28 S.
  - SEE COMMERCIAL DRIVEWAY PERMIT LNDUSE-2022-00014  
M:\DESIGN\Traffic\Maps\_Plans\ParkingLotPlans\TEIL\Linden Ave 2165 also 252 Dunning St
  - IN LOCATIONS WHERE PAVEMENT RESTORATION IS NOT IDENTIFIED ADJACENT TO CURB AND GUTTER REPLACEMENT ITS ASSUMED THAT CURB AND GUTTER WILL BE REPLACE WITHOUT DAMAGING ADJACENT PAVEMENT. IF DAMAGED, THE MILL AND OVERLAY LIMITS SHALL BE EXTENDED BY THE CITY CONSTRUCTION ENGINEER AS NECESSARY TO MEET THE STANDARD PATHING CRITERIA.

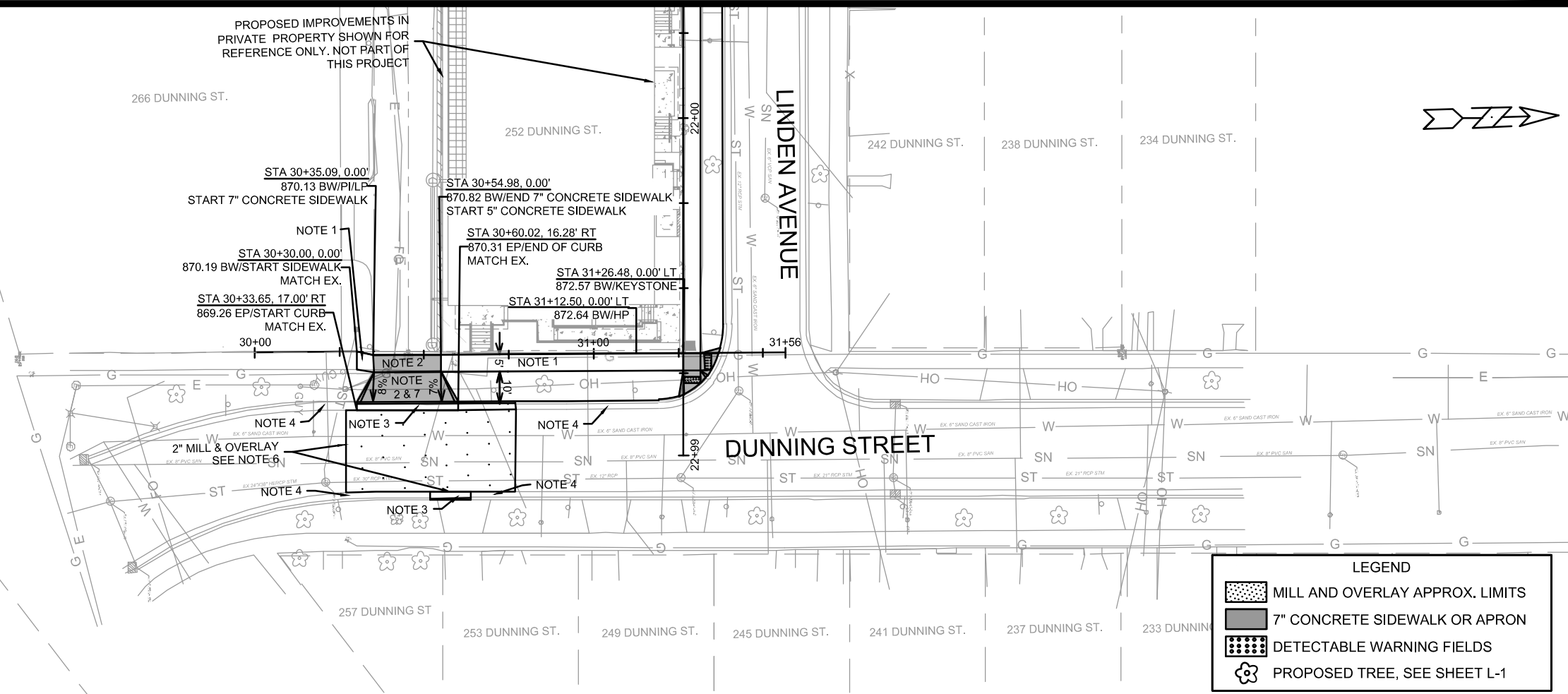
**LEGEND**

- MILL AND OVERLAY APPROX. LIMITS
- 7" CONCRETE SIDEWALK OR APRON
- DETECTABLE WARNING FIELDS
- PROPOSED TREE, SEE SHEET L-1



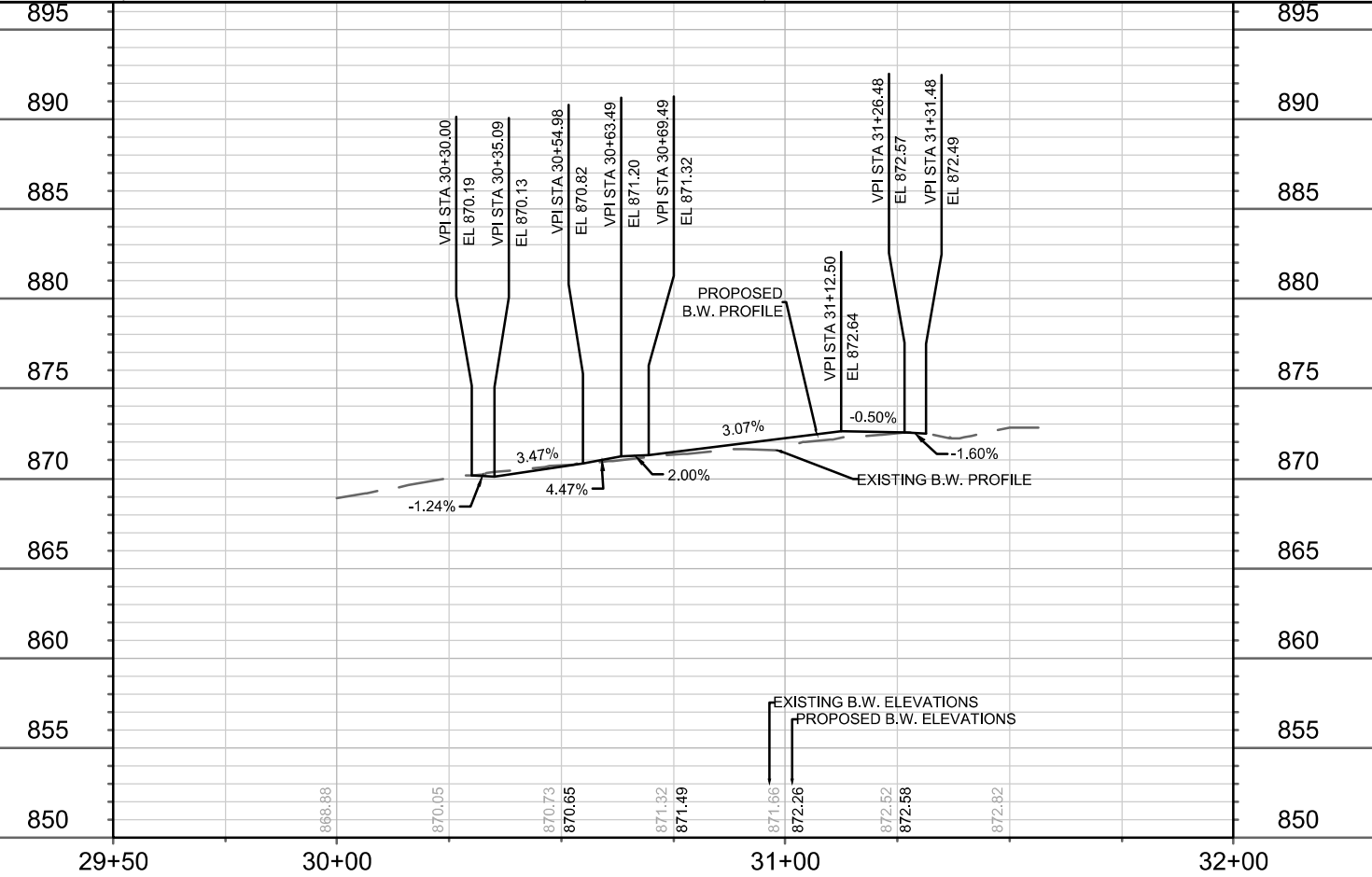
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MADISON, WI	CONTRACT NO:		
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P-1			

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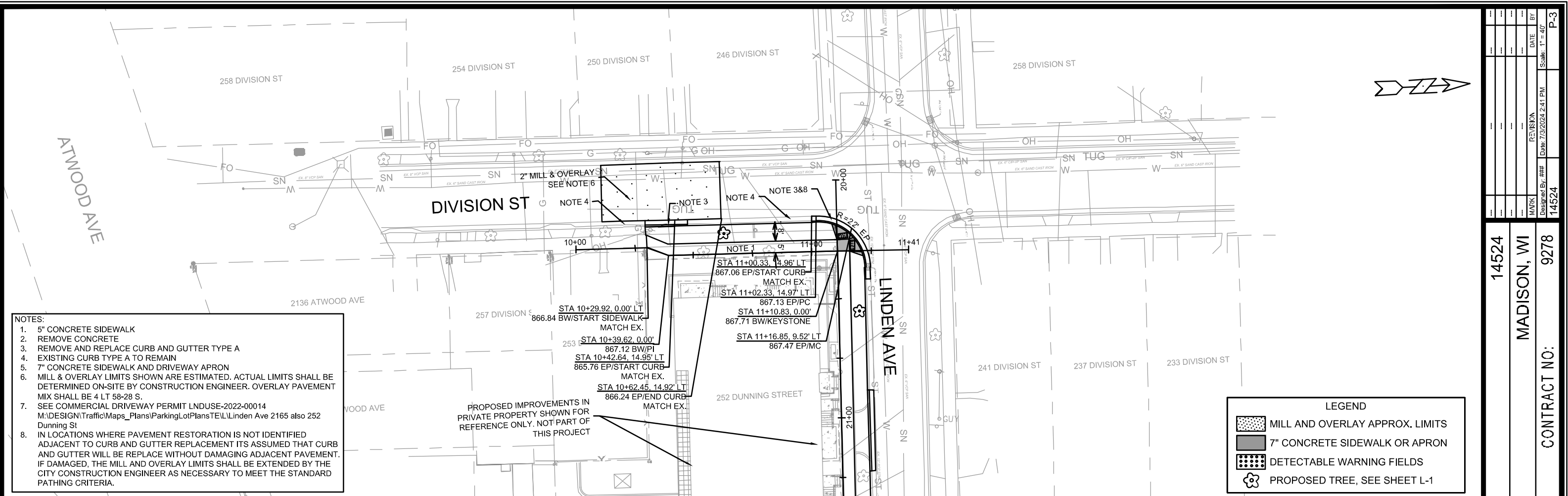


**LEGEND**

- MILL AND OVERLAY APPROX. LIMITS
- 7" CONCRETE SIDEWALK OR APRON
- DETECTABLE WARNING FIELDS
- PROPOSED TREE, SEE SHEET L-1



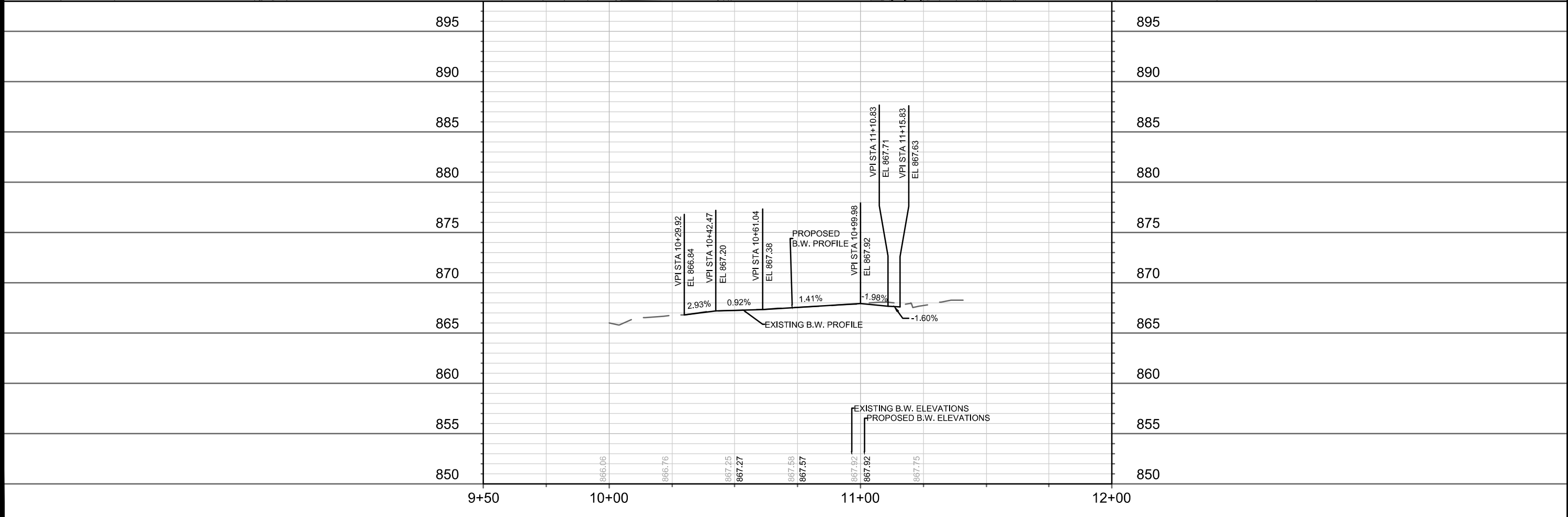
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<p>PLAN &amp; PROFILE - DUNNING ST</p> <p>252 DUNNING ST</p> <p>M:\DESIGN\Projects\14524\CAD\Streets\14524EN-PIP_102023.dwg</p>									
<p>14524</p> <p>P-2</p>									



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  - SEE COMMERCIAL DRIVEWAY PERMIT LNDUSE-2022-00014  
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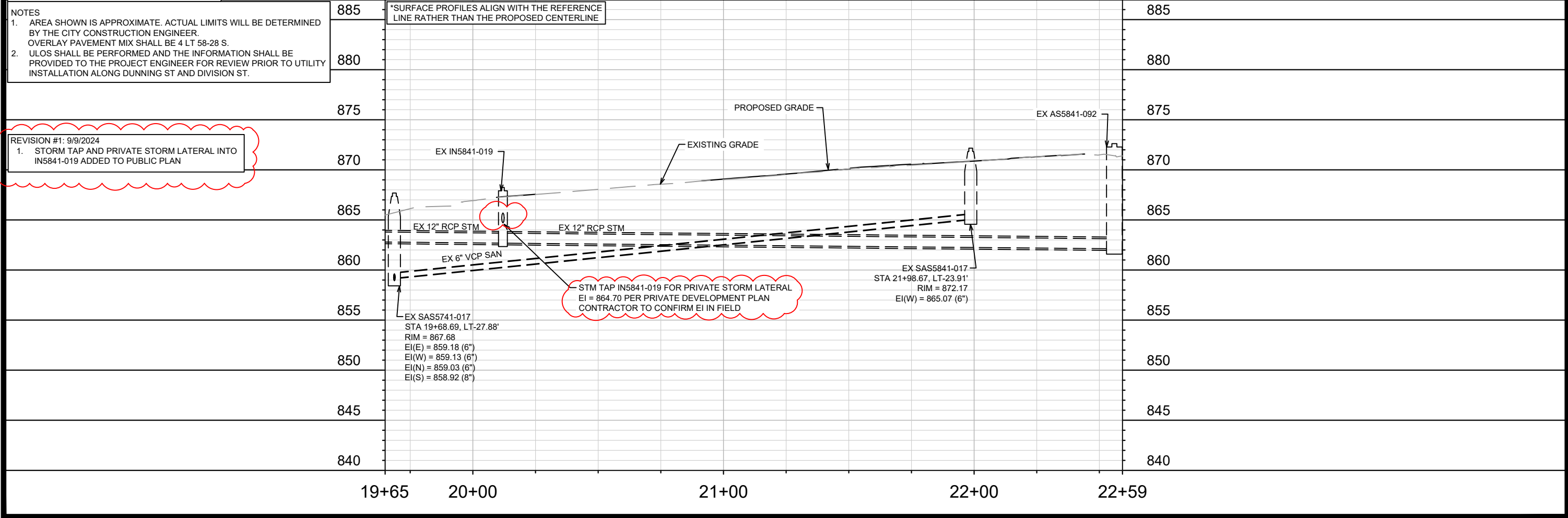
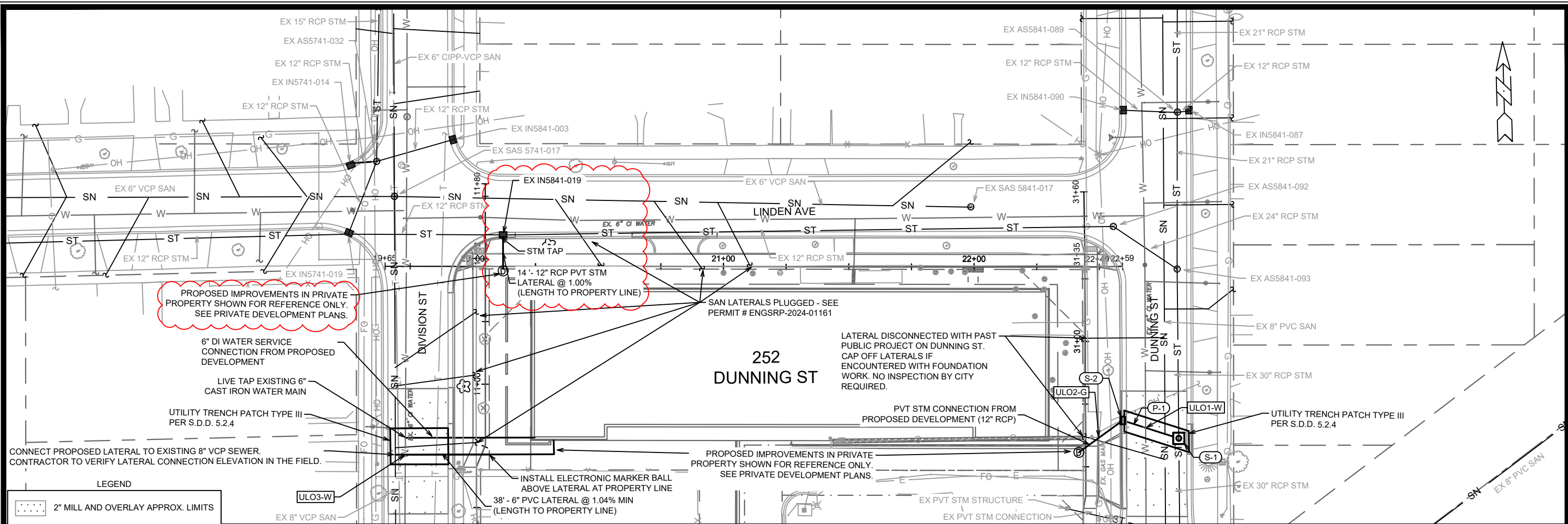
**LEGEND**

	MILL AND OVERLAY APPROX. LIMITS
	7" CONCRETE SIDEWALK OR APRON
	DETECTABLE WARNING FIELDS
	PROPOSED TREE, SEE SHEET L-1



14524	14524	14524	14524
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REVISION	REVISION	REVISION	REVISION
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DATE	DATE	DATE	DATE
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P-3	P-3	P-3	P-3
<p><b>PLAN &amp; PROFILE - DIVISION ST</b></p> <p><b>252 DUNNING ST</b></p>			
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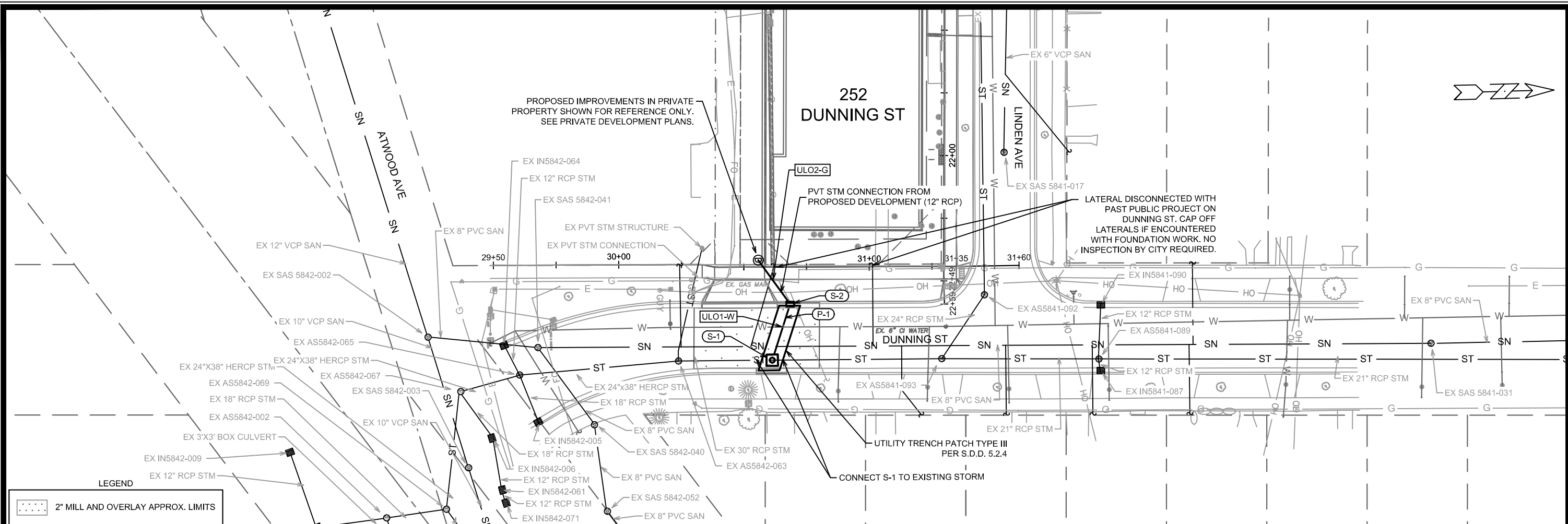
**NOTES**

1. AREA SHOWN IS APPROXIMATE. ACTUAL LIMITS WILL BE DETERMINED BY THE CITY CONSTRUCTION ENGINEER. OVERLAY PAVEMENT MIX SHALL BE 4 LT 58-28 S.
2. ULOS SHALL BE PERFORMED AND THE INFORMATION SHALL BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO UTILITY INSTALLATION ALONG DUNNING ST AND DIVISION ST.

**REVISION #1: 9/9/2024**

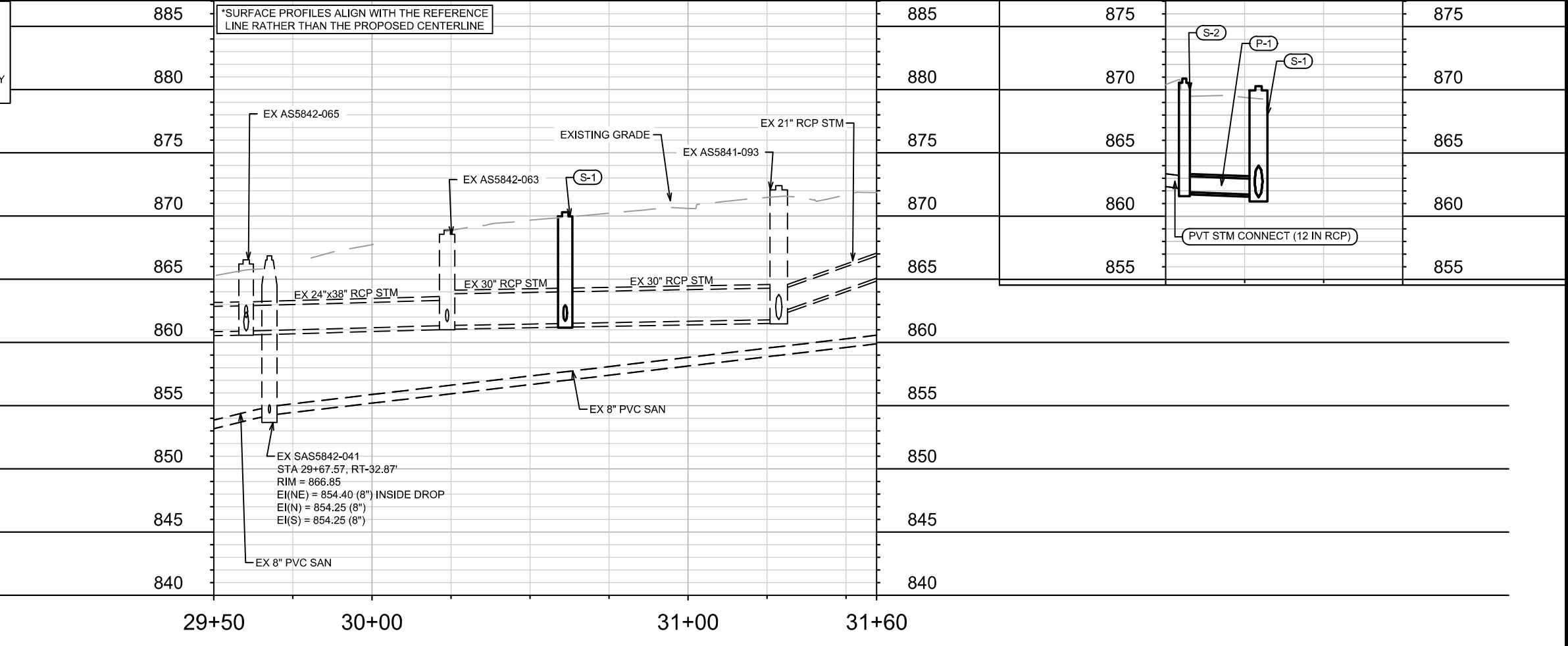
1. STORM TAP AND PRIVATE STORM LATERAL INTO IN5841-019 ADDED TO PUBLIC PLAN

14524	14524	14524	U-1
MADISON, WI	9278	U-1	U-1
CONTRACT NO:	9278	U-1	U-1
SEWER PLAN & PROFILE - LINDEN AVE	252 DUNNING ST	14524	U-1



**NOTES**

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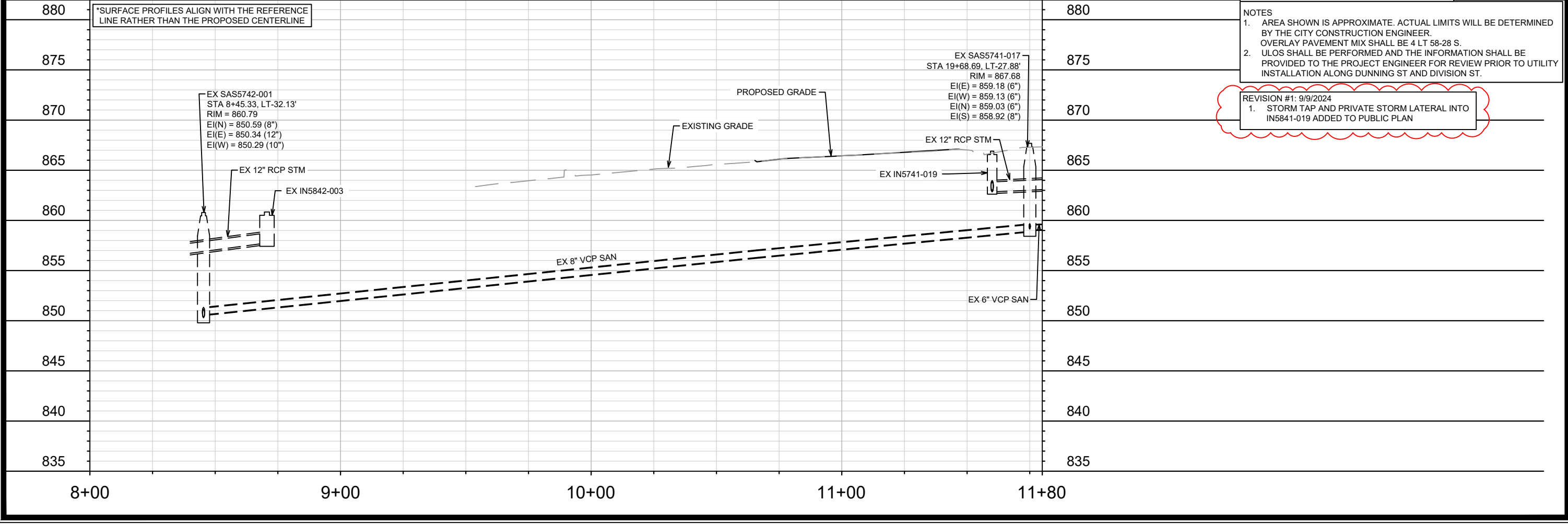
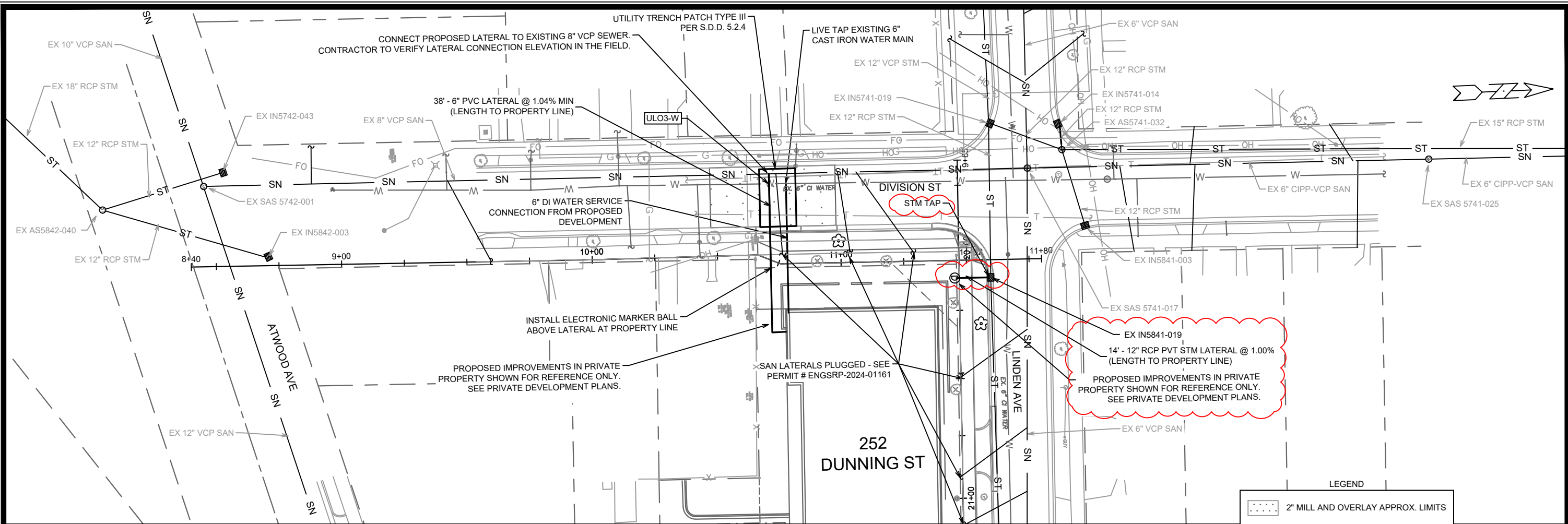
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SEWER PLAN & PROFILE - DUNNING ST  
252 DUNNING ST

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CITY OF MADISON WISCONSIN

14524  
U-2



LEGEND  
 ..... 2" MILL AND OVERLAY APPROX. LIMITS

NOTES  
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REVISION #1: 9/9/2024  
 1. STORM TAP AND PRIVATE STORM LATERAL INTO IN5841-019 ADDED TO PUBLIC PLAN

14524	U-3
IN5841-019 STORM TAP AND LATERAL	DATE: 9/9/24
REVISION	BY
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14524  
 MADISON, WI  
 CONTRACT NO: 9278

SEWER PLAN & PROFILE - DIVISION ST  
 252 DUNNING ST

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 U-3

# STORM SEWER SCHEDULE

STORM SEWER SCHEDULE  
CITY OF MADISON

## PROPOSED STORM STRUCTURES

STRUC. NO.	STATION	LOCATION (OFFSET)	TYPE	TOP OF CASTING	E.I.	DEPTH	NOTES
<b>DUNNING ST</b>							
S-1	30+61.16'	RT-37.16	4X4 SAS	870.29	861.50	8.79	FP; W/R-1550-0054; [1]
S-2	30+68.40	RT-14.83	H-INLET	870.88	861.92	8.96	W/R-3067-7004-V; [2]

## PROPOSED STORM PIPES

PIPE NO.	FROM (DNSTM)	TO (UPSTM)	DISCH. E.I.	INLET E.I.	PLAN (PAY) LGTH (FT)	PIPE LGTH (FT)	SLOPE (%)	PIPE SIZE	TYPE	NOTES
<b>DUNNING ST</b>										
P-1	S-1	S-2	861.70	861.92	23	20	1.10%	15"	RCP	NCM

## ● STORM STRUCTURE ADJUSTMENTS

● STRUC. NO.	ID NO.	STATION	LOCATION (OFFSET)	EX TOC	PROP TOC	ADJ (FT)	NOTES
● LINDEN AVE							
● IN5841-019	-	20+12.02	-12.56	868.24	-	-	[3]

## ULOs

ULO NO.	STATION	LOCATION (OFFSET)	TYPE	NOTES
<b>DUNNING ST</b>				
ULO1-W	30+65.46	RT-23.95	6" WATER	STM
ULO2-G	30+61.63	RT-5.31	GAS	STM
<b>DIVISION ST</b>				
ULO3-W	10+66.11	LT-28.65	6" WATER	SAN

## SPECIFIC NOTES

- [1] CONNECT S-1 TO EXISTING 30" RCP STORM ON DUNNING STREET (EI = 861.50)
- [2] CONNECT 12" RCP PRIVATE STORM FROM PROPOSED DEVELOPMENT (EI(SW) = 862.17)
- [3] 12" STORM TAP FOR PRIVATE STORM FROM PROPOSED DEVELOPMENT (EI(S) = 864.70 - PER PRIVATE DEVELOPMENT PLAN CONTRACTOR TO CONFIRM EI IN FIELD)

**NOTE:** PLAN LENGTH (PAY LENGTH) IS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTH IS ACTUAL LENGTH OF PIPE FROM STRUCTURE WALL TO STRUCTURE WALL. SLOPE CALCULATED USING PIPE LENGTH.

## STANDARD NOTES:

- ABBREVIATIONS: AE = APRON ENDWALL; RCP = REINFORCED CONCRETE PIPE; HERCP = HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE; DNA = DOES NOT APPLY; SAS = SEWER ACCESS STRUCTURE; LP = LOW POINT INLET STRUCTURE; FP = FIELD POURED STRUCTURE; TR = TOP OF CONCRETE ROOF; NCM = NO CROWN MATCH FOR PIPES; UD = UNDERDRAIN
- TOP OF CASTING GRADE GIVEN IS THE TOP OF CURB FOR INLET STRUCTURES AND THE FLOWLINE OF THE CLOSED CASTING FOR SASs.
- TOP OF CONCRETE ROOF (TR) IS 1.25 BELOW TOP OF CASTING UNLESS OTHERWISE NOTED.
- ALL REINFORCED CONCRETE PIPES TO BE CLASS III UNLESS OTHERWISE NOTED.
- SURVEYOR TO CONFIRM THAT ALL INLET STATION / OFFSETS LINE UP WITH PROPOSED CURB AND GUTTER.
- ALL REBAR FOR FIELD POUR STRUCTURES SHALL BE EPOXY COATED. ANY EXPOSED STEEL SHALL BE TOUCHED UP OR RECOATED PRIOR TO USE.
- ALL FIELD POURED SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.3.
- ALL PRECAST SAS STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING 5.7.5.
- ALL STRUCTURES CALLED OUT AS FIELD POURED SHALL BE FIELD POURED. ALL OTHER STRUCTURES (NOT INDICATED AS FIELD POURED) SHALL BE SUBMITTED TO CITY ENGINEERING FOR APPROVAL IF PRECAST STRUCTURES ARE PREFERRED. CONTACT ERIC CEFALU OF CITY ENGINEERING AT (608) 243-5894 FOR PRECAST APPROVALS, FAX SHOP DRAWINGS TO (608)264-9275, OR EMAIL SHOP DRAWINGS TO ECEFALU@CITYOFMADISON.COM.

246

Linden Ave

2156

241

Division St

252 Dunning St

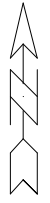
Remove Existing Markings (as needed)

6'

4'

Install 6" Crosswalk Epoxy

Install 24" Stop Bar Epoxy



MARKING PLAN  
252 DUNNING ST

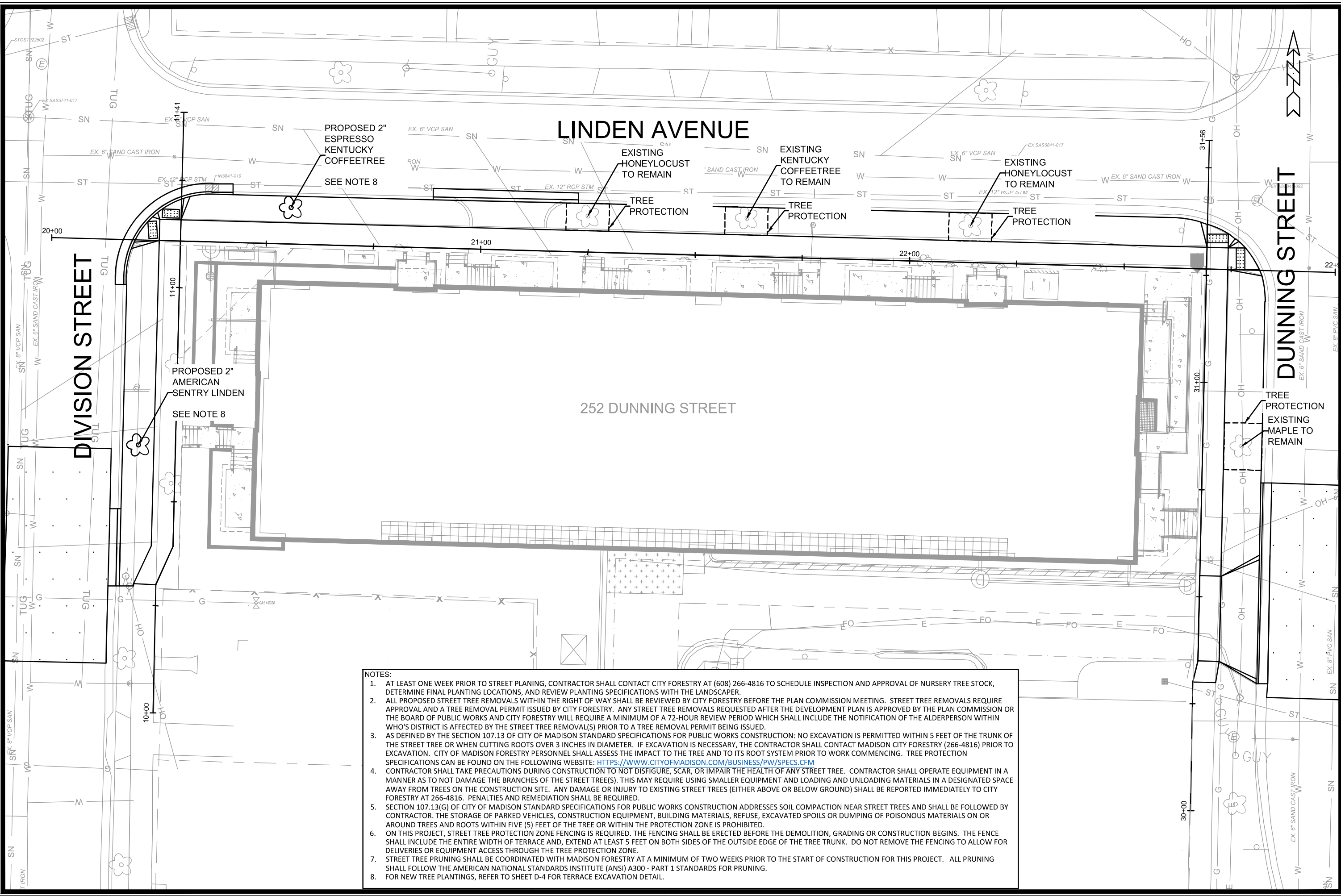
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MADISON, WI  
CONTRACT NO: 9278

NO.	DESCRIPTION	DATE	BY
1	DESIGNED BY: CLP	DATE: 7/23/2024	PM-1
2	MARKING PLAN		
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- NOTES:
1. AT LEAST ONE WEEK PRIOR TO STREET PLANING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK, DETERMINE FINAL PLANTING LOCATIONS, AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
  2. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
  3. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>
  4. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
  5. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
  6. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
  7. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
  8. FOR NEW TREE PLANTINGS, REFER TO SHEET D-4 FOR TERRACE EXCAVATION DETAIL.

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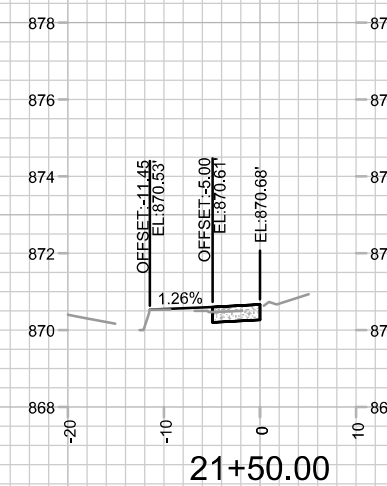
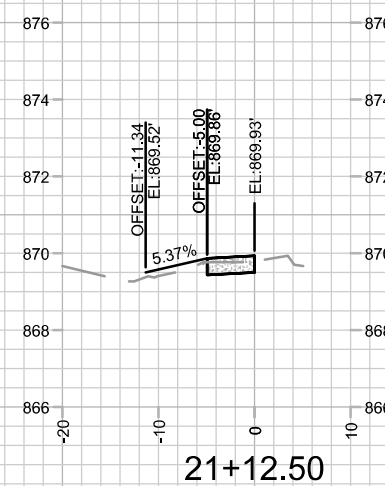
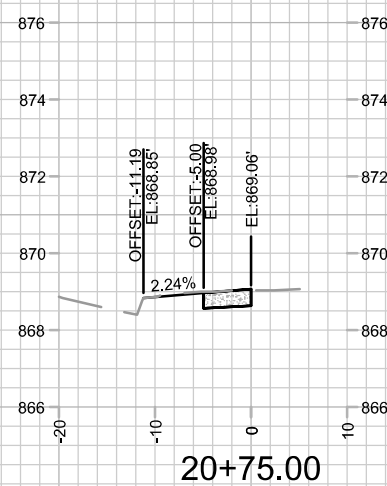
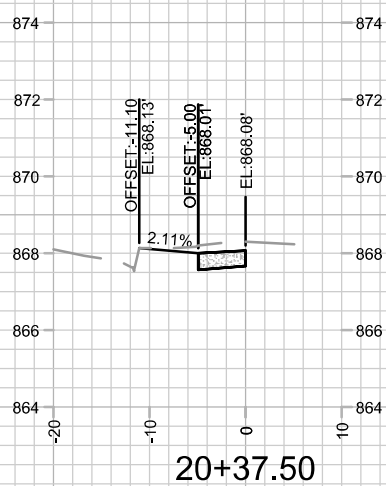
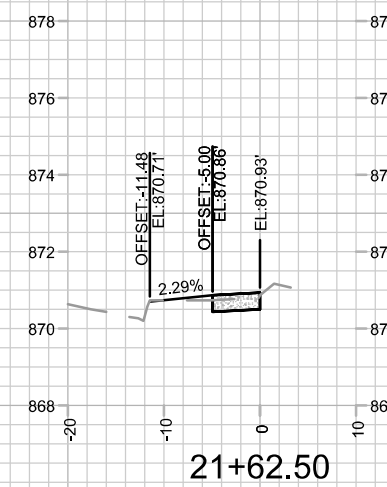
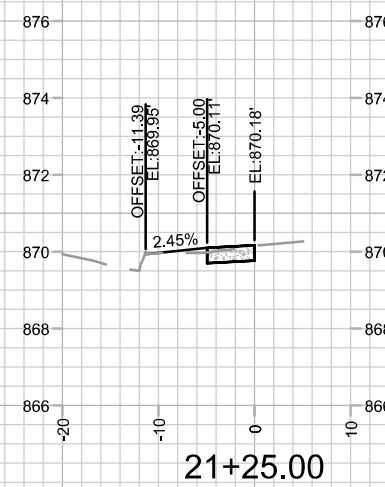
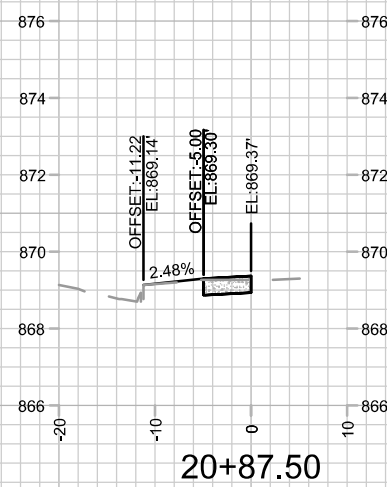
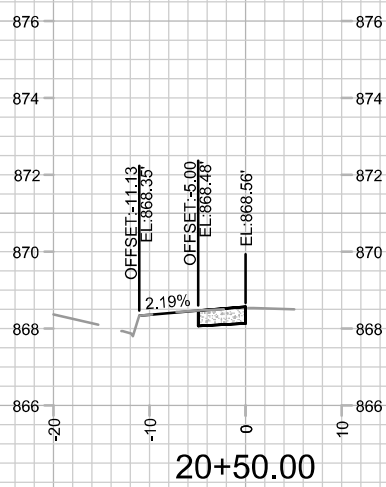
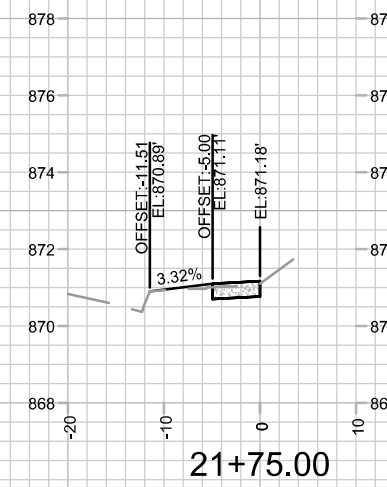
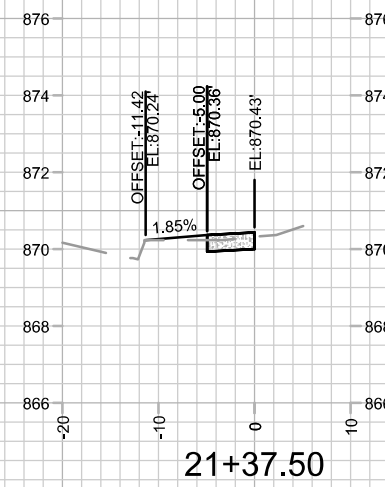
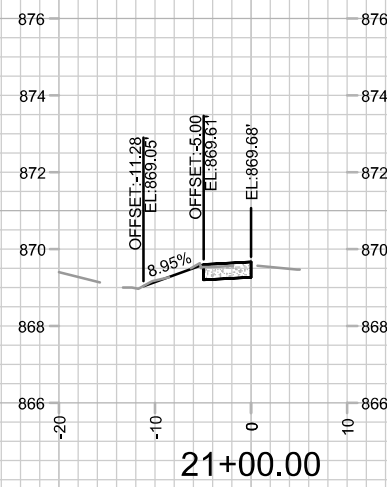
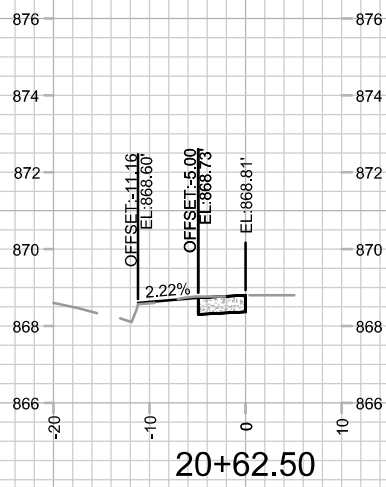
  

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LANSCLAPING PLAN	14524
252 DUNNING ST	L-1

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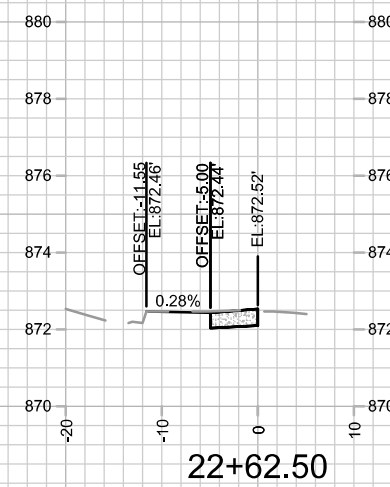
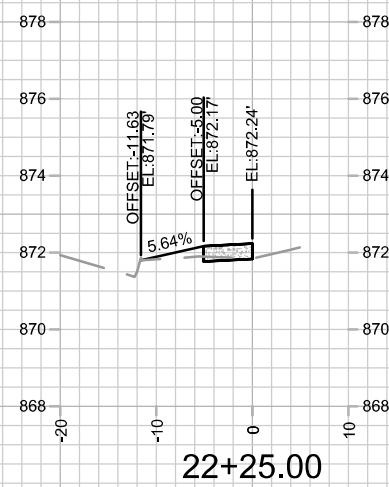
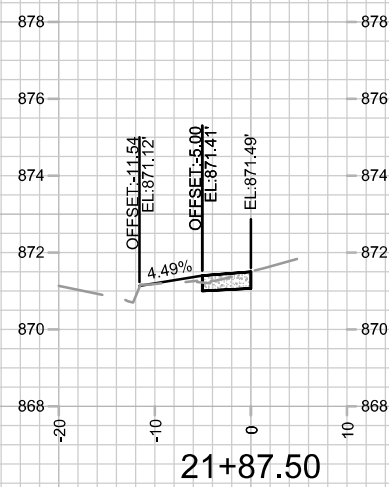
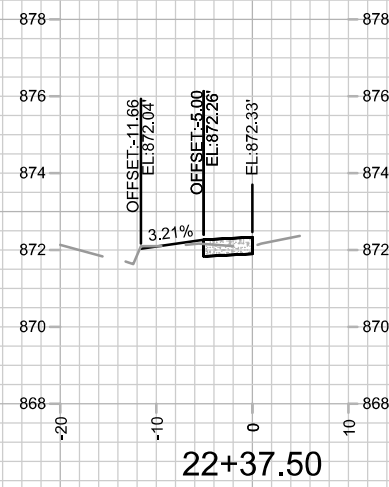
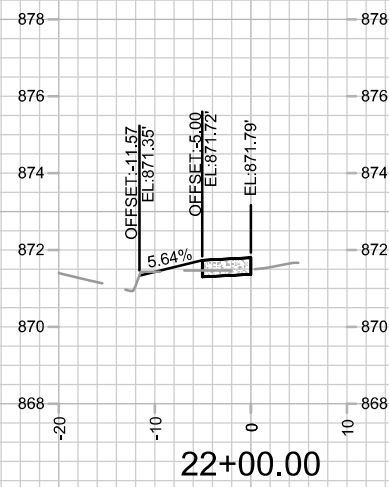
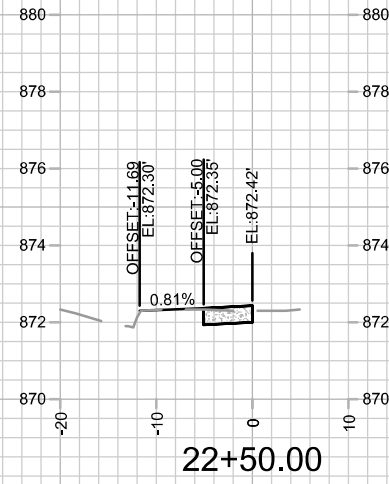
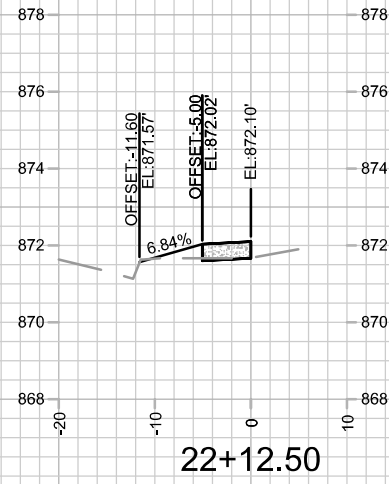
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MADISON, WI  
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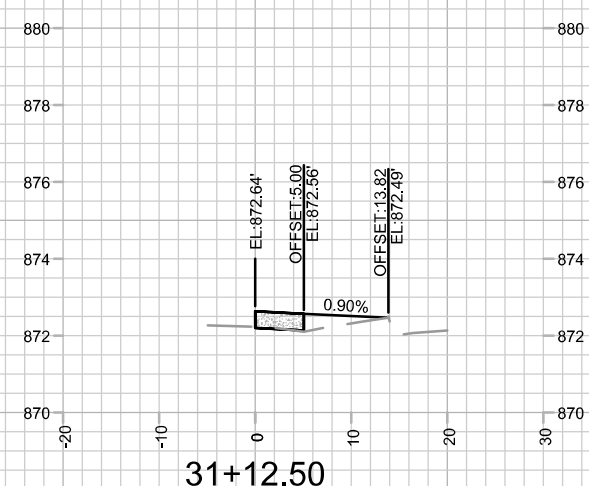
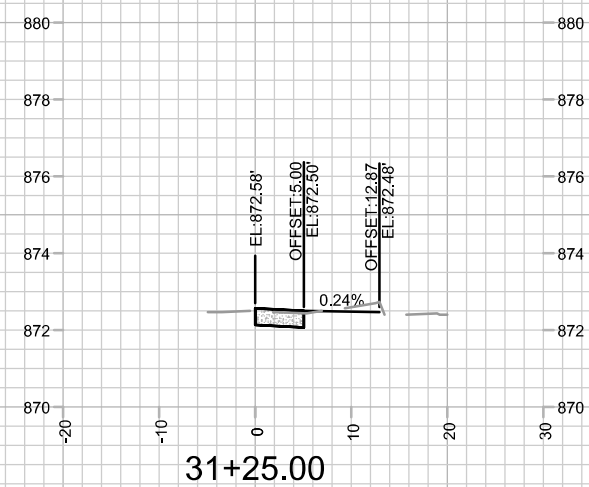
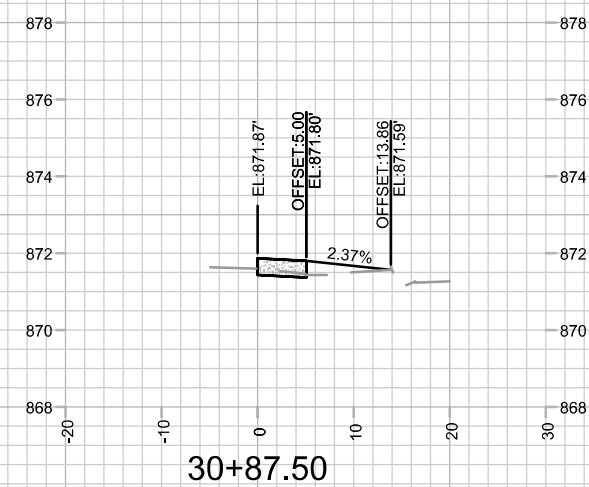
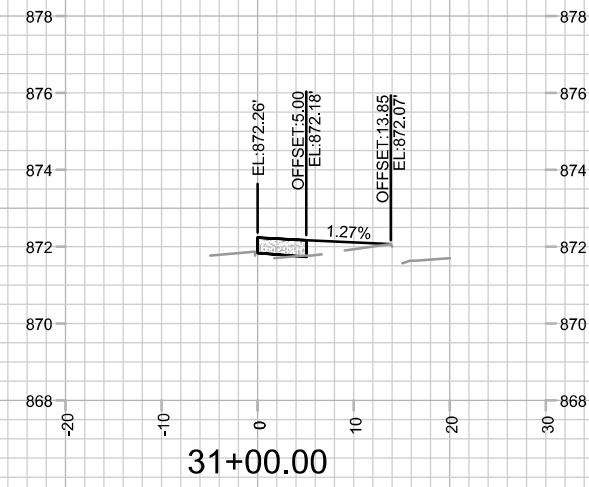
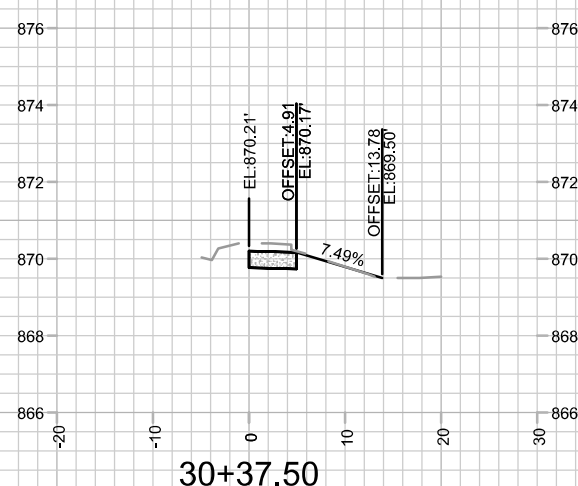
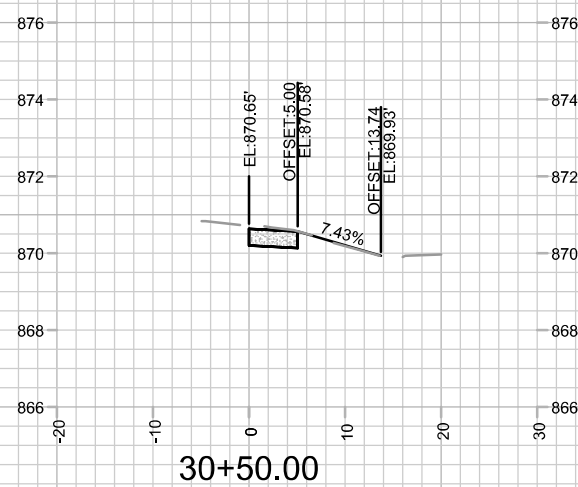
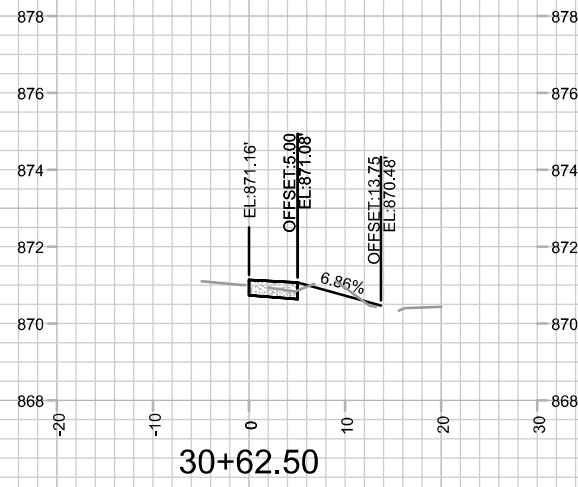
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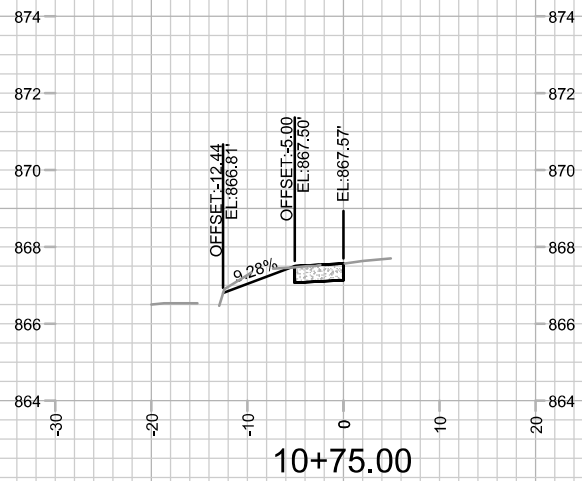
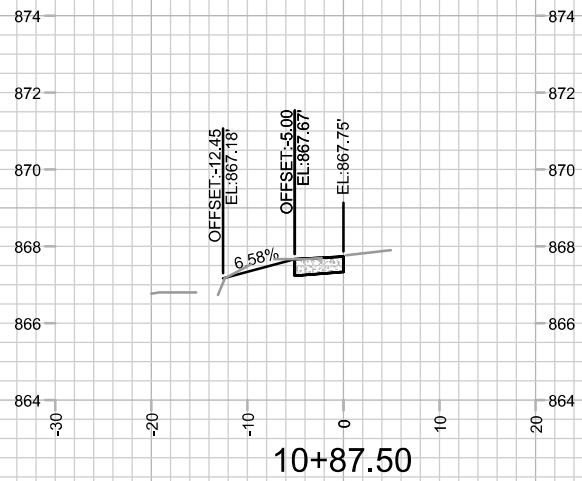
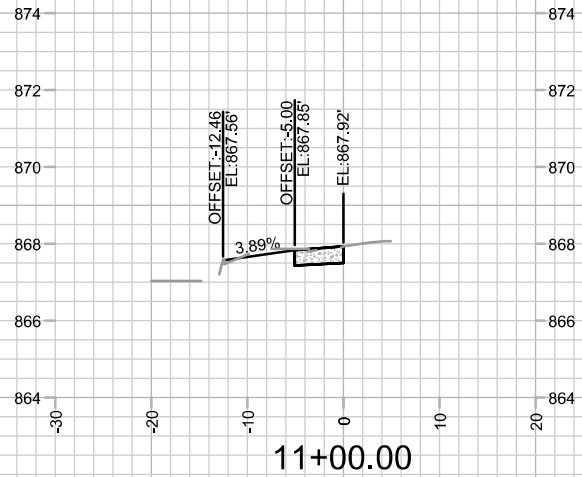
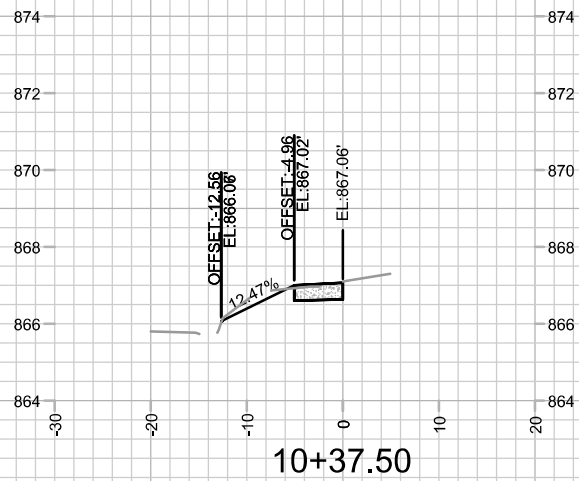
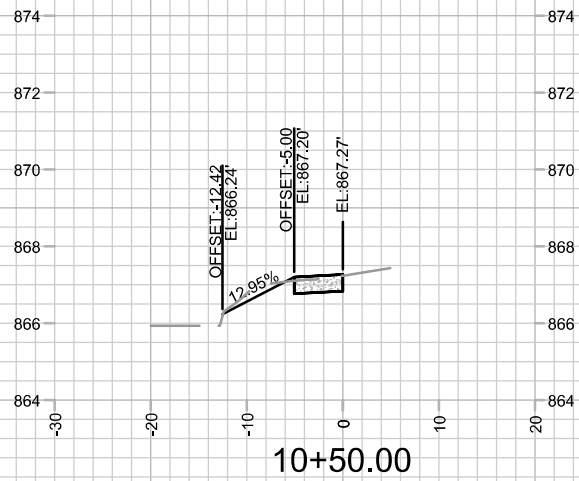
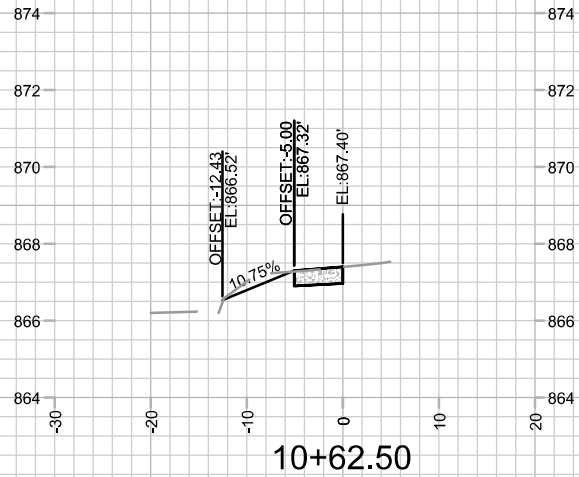


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	<b>14524</b> <b>X-3</b>	<b>CROSS SECTION - DUNNING ST</b> <b>252 DUNNING ST</b>	<b>14524</b> <b>9278</b> <b>CONTRACT NO:</b>
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252 DUNNING ST  
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